

REMOVE & REPLACE STONE BALLAST AFTER REPAIRS ARE COMPLETED AT SEAMS, WHERE BALLASTED ROOFS EXIST
SURE-SEAL/ SURE WHITE EPDM MEMBRANE

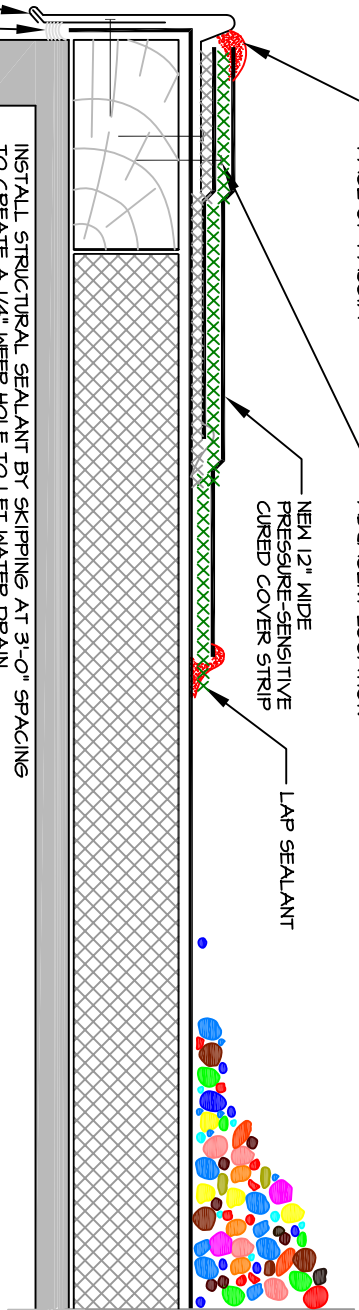
NOTES:

1. WHERE EXISTING NAILS ARE LOOSE OR PROTRUDING, REMOVE & REPLACE WITH STAINLESS STEEL RINGS SHANKED AT 3 TO 4" O.C. NAILS AT ADJACENT LOCATIONS
2. INSPECT THE EXTERIOR FASCIA ATTACHMENT WITH CLEAT. REATTACH LOOSE PORTION OF FASCIA. GRIP THE DRIP EDGE WITH CLEAT AT 2'-0" SPACING WITHOUT DAMAGING THE PAINTED FINISH.
3. WHERE MEMBRANE IS SPLIT AT SHEET METAL JOINTS, CUT AND REMOVE LOOSE PORTION. INSTALL A CUSHION PIECE OF PRESSURE-SENSITIVE MEMBRANE AT JOINT PRIOR TO STRIPPING.

A GRAVEL STOP ROOF EDGE RESTORATION DETAIL - PREPARATION STAGE

INSERT LAP SEALANT AT THE CREVICES OF SHEET METAL JOINTS TO SEAL THE OPENINGS, ENSURE SEALANT DOES NOT OOOZE ONTO THE FACE OF FASCIA

WHERE EXISTING NAILS ARE LOOSE OR PROTRUDING, REMOVE & REPLACE WITH OVERSIZED NAILS OR ADD NEW NAILS AT ADJACENT LOCATION



INSTALL STRUCTURAL SEALANT BY SKIPPING AT 3'-0" SPACING TO CREATE A 1/4" WEEP HOLE TO LET WATER DRAIN. CONSULTANT TO FIELD VERIFY THE EXISTING CONDITIONS AND REQUIREMENTS FOR THIS REPAIR.

B GRAVEL STOP ROOF EDGE RESTORATION DETAIL - RESTORATION OF FLASHING

GRAVEL STOP EDGE RESTORATION DETAIL



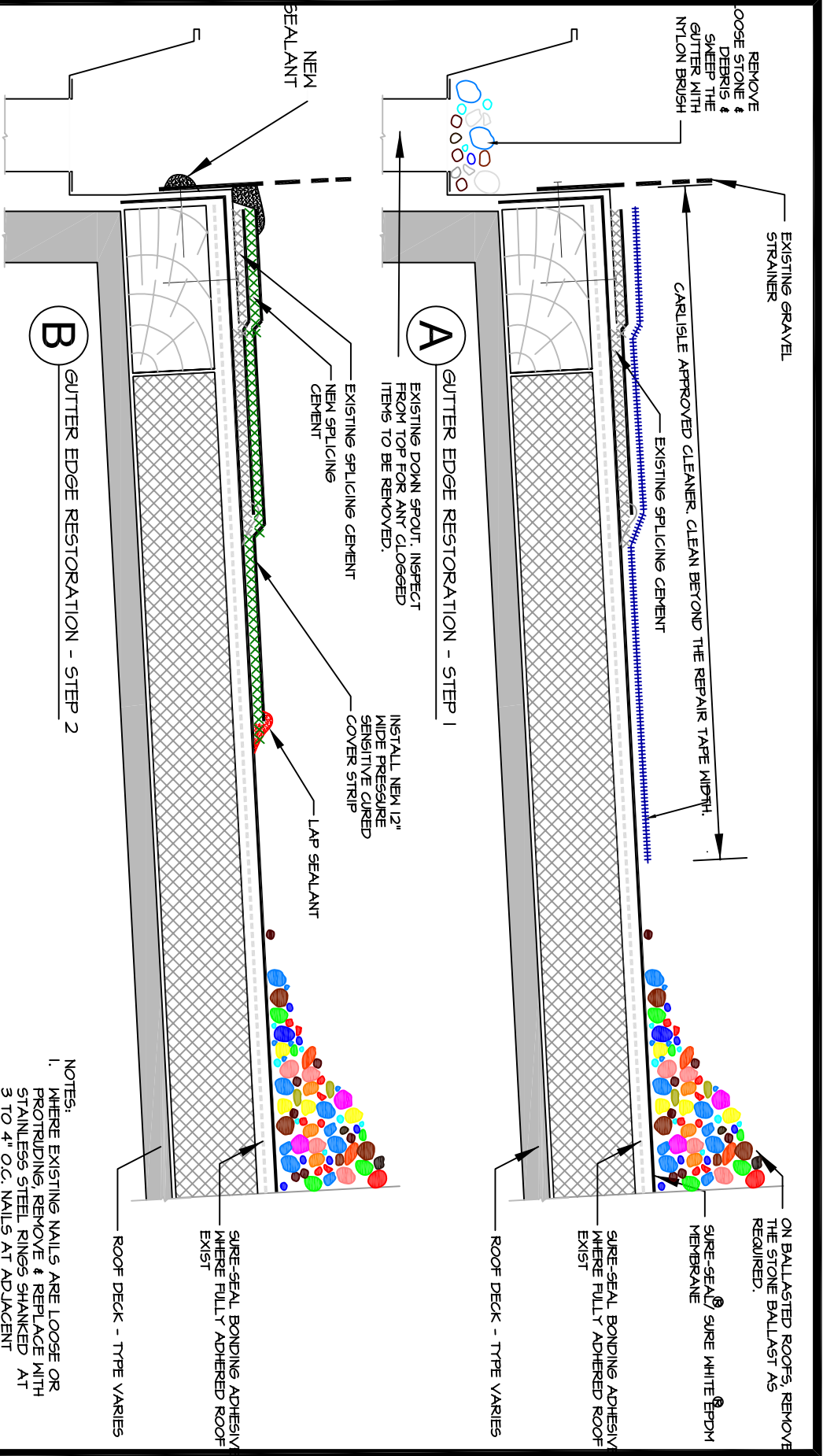
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FOR APPLICABLE ADDITIONAL INFORMATION SEE PAGES OR DETAILS(S)	
2.5.1	2.5.2
4.2	
LEGEND 13.1	

EPDM ROOF RESTORATION DETAIL

E 4.1



A GUTTER EDGE RESTORATION - STEP 1

EXISTING DOWN SPOUT. INSPECT FROM TOP FOR ANY CLOGGED ITEMS TO BE REMOVED.

B GUTTER EDGE RESTORATION - STEP 2

- NOTES:**
- WHERE EXISTING NAILS ARE LOOSE OR PROTRUDING, REMOVE & REPLACE WITH STAINLESS STEEL RINGS SHANKED AT 3 TO 4" O.C. NAILS AT ADJACENT LOCATIONS
 - WHERE MEMBRANE IS SPLIT AT SHEET METAL JOINTS, CUT AND REMOVE LOOSE PORTION, INSTALL A CUSHION PIECE OF PRESSURE-SENSITIVE MEMBRANE AT JOINT PRIOR TO STRIPPING.



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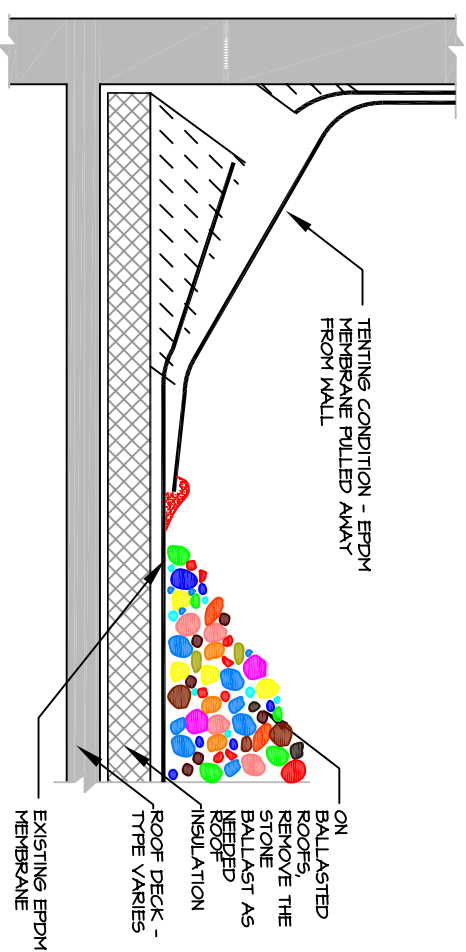
**GUTTER EDGE - RESTORATION
DETAIL.**

FOR APPLICABLE ADDITIONAL INFORMATION, SEE PAGES OR DETAIL(S):	2.5.1	2.5.2
	4.1	

LEGEND | 3.1

EPDM ROOF RESTORATION
DETAIL
E 4.2

EXISTING CONDITION

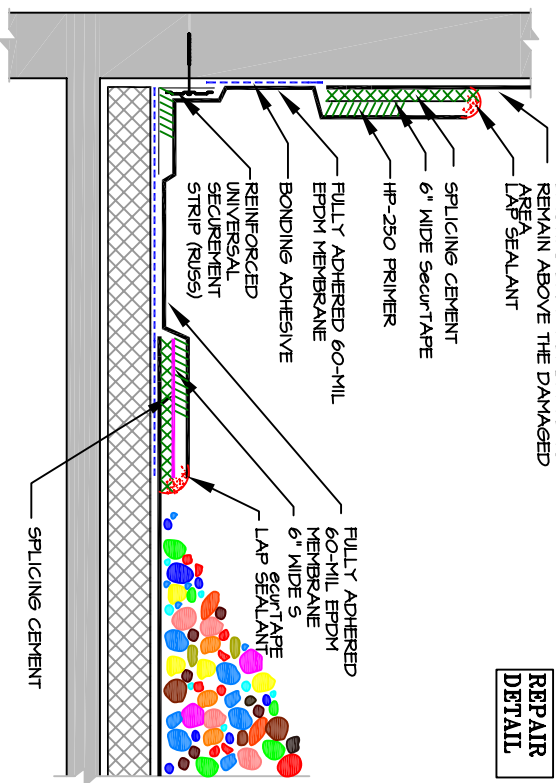


A WALL BASE FLASHING (BRIDGING CONDITION) - STEP 1

NOTES:

1. FOLLOWING ARE LIMITED OUTLINE NOTES TO REPAIR ABOVE AREAS. REFER TO CARLISLE SPECIFICATION FOR MEANS AND METHOD TO MAKE REPAIRS.
2. INSPECT EXISTING BASE FLASHING AT RISING WALL AND MARK AREAS WHERE MEMBRANE IS STRETCHED OR UNBONDED FROM THE REINFORCED UNIVERSAL SECUREMENT STRIP (RUS5) OR WALL CORNER.
3. REMOVE STONE ON BALLASTED ROOF AREAS AS NEEDED. CAREFULLY INSPECT FOR CUTS, HOLES, PUNCTURES OR SIMILAR CONDITIONS PRIOR TO RINSING THE MEMBRANE. AT SUCH CONDITIONS, INSTALL A TEMPORARY PATCH.
4. WITHIN DEFICIENT AREA, CLEAN THE RECEIVING AREA PRIOR TO CUTTING OF MEMBRANE TO KEEP THE INSULATION DRY. CLEAN WITH CARLISLE'S SPECIFIED CLEANING SOLUTION AND THOROUGHLY CLEAN WITH WARM WATER TO RINSE AFTER CLEANING.

EXISTING EPDM MEMBRANE TO REMAIN ABOVE THE DAMAGED AREA



B WALL BASE FLASHING (BRIDGING CONDITION) - STEP 2

5. CUT OUT THE SLACKED OR TENTED PORTION OF MEMBRANE.
6. INSPECT FOR THE PRESENCE OF MOISTURE AT EXPOSED CUT IN INSULATION AREAS AND REPLACE MET INSULATION TO MATCH IN KIND & THICKNESS WITH EXISTING.
7. CLEAN THE ENTIRE BASE FLASHING AT RECEIVING AREAS.
8. APPLY PRIMER AND 6" WIDE SECURTAPE.
9. INSTALL NEW EPDM MEMBRANE FLASHING.
10. ROLL THE SPLICE WITH A 2" WIDE STEEL ROLLER AND APPLY LAP SEALANT.

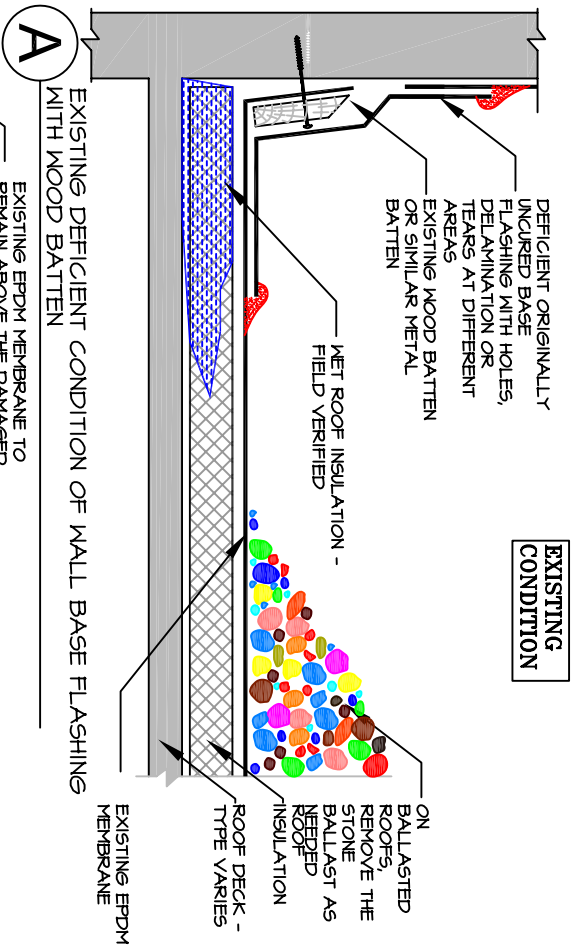
REPAIR DETAIL



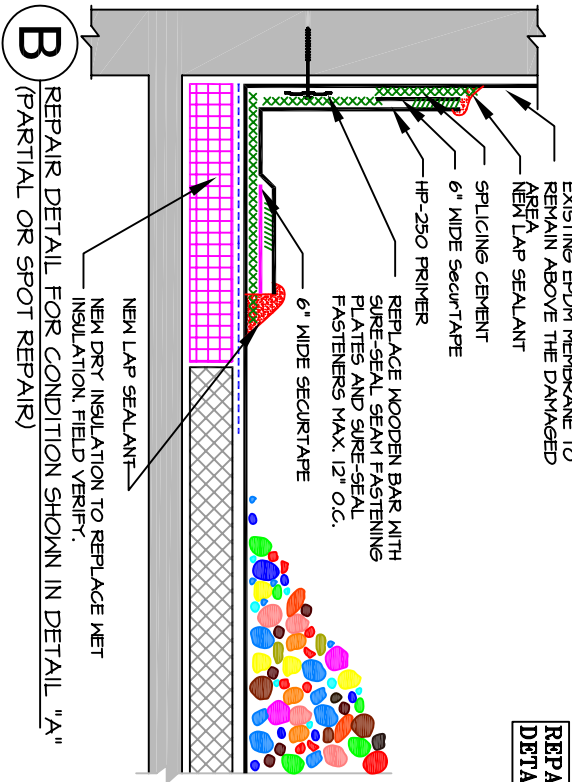
FLASHING TENTING CONDITION AT VERTICAL TRANSITIONS OR RISING WALLS.

FOR APPLICABLE ADDITIONAL INFORMATION SEE PAGES OR DETAILS(S):	5.2.1	5.2.2
	5.2.3	5.3

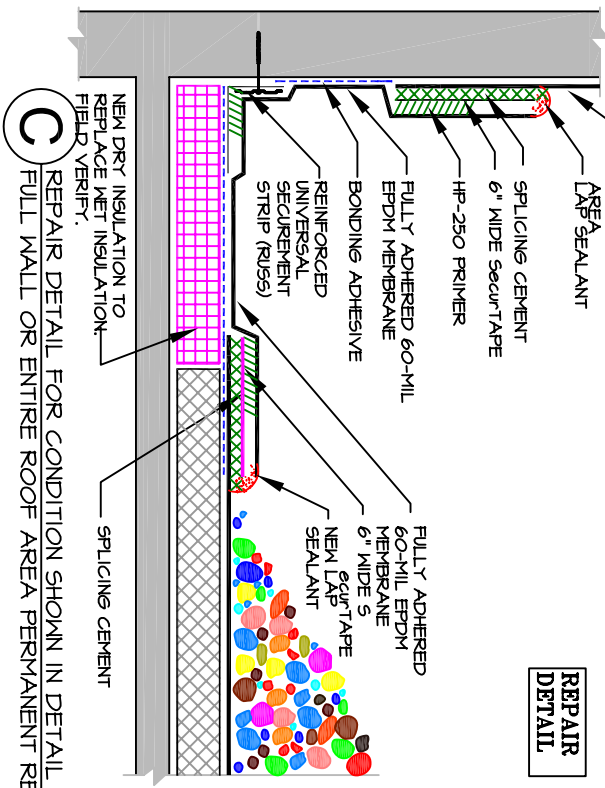
EPDM ROOF RESTORATION
DETAIL
E
5.1



EXISTING CONDITION



REPAIR DETAIL



C REPAIR DETAIL FOR CONDITION SHOWN IN DETAIL "A"
FULL WALL OR ENTIRE ROOF AREA PERMANENT REPAIR

REPAIR DETAIL

B REPAIR DETAIL FOR CONDITION SHOWN IN DETAIL "A"
(PARTIAL OR SPOT REPAIR)

- NOTES:
1. INSPECT EXISTING BASE FLASHING AT RISING WALL, AND MARK AREAS WHERE MEMBRANE IS PUNCTURED, TORN, STRETCHED AND/OR UNBONDED FROM THE WALL MEMBRANE.
 2. WITHIN DEFICIENT AREA, CUT OUT THE SLACKED OR TENTED PORTION OF MEMBRANE.
 3. INSPECT FOR THE PRESENCE OF MOISTURE AT EXPOSED CUT AREAS AND REPLACE MET INSULATION TO MATCH TYPE, THICKNESS & NUMBER OF LAYERS.
 4. CLEAN THE ENTIRE BASE FLASHING AREA.
 5. INSTALL NEW FLASHING PER DETAIL.
 6. SEE 3D VIEWS OF ABOVE DETAILS AT SHEET 5.2.2 AND 5.2.3 ALSO.



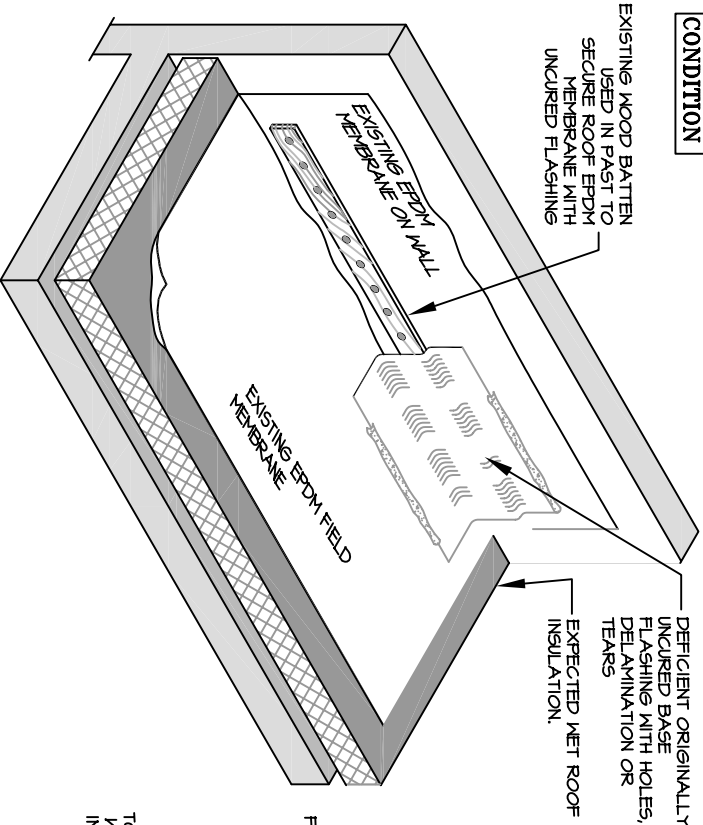
FLASHING WITH BATTEN ATTACHMENT - PAGE 1 OF 3. (SEE 5.2.2 & 5.2.3 FOR 3D VIEWS.)

FOR APPLICABLE ADDITIONAL INFORMATION SEE PAGES OR DETAIL(S):

5.2.2	5.2.3
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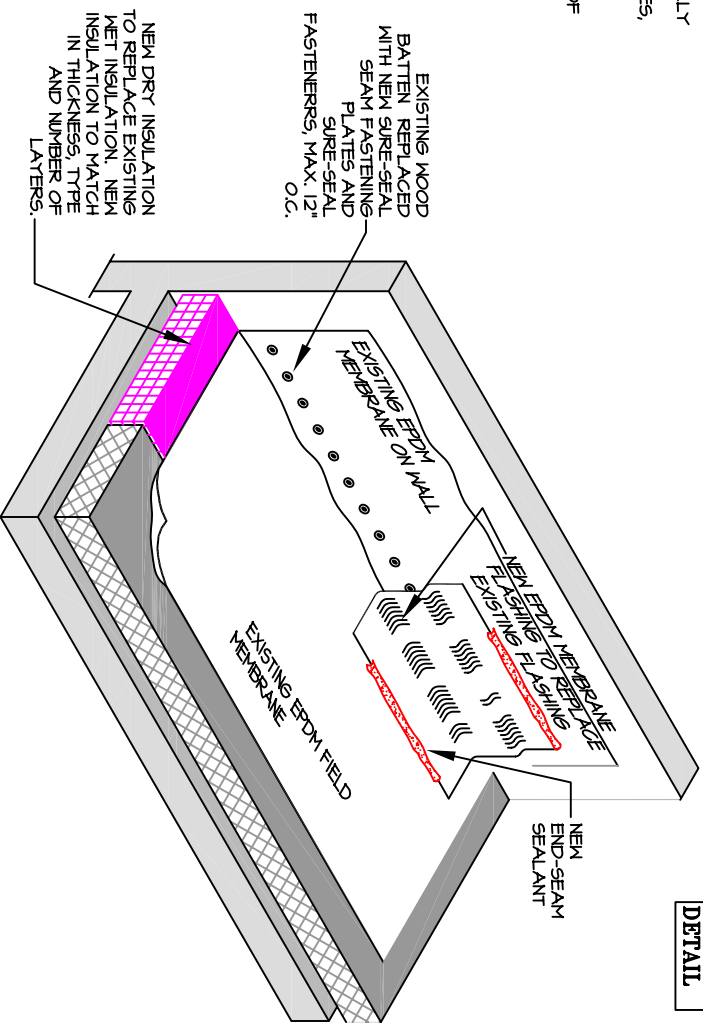
EPDM ROOF RESTORATION
E 5.2.1

EXISTING CONDITION



A EXISTING DEFICIENT CONDITION OF WALL BASE FLASHING WITH MOOD BATTEN

REPAIR DETAIL



B REPAIR DETAIL FOR CONDITION SHOWN IN DETAIL "A" (PARTIAL OR SPOT REPAIR)



3-D VIEW OF DETAIL 5.2.1 'A' & 'B'

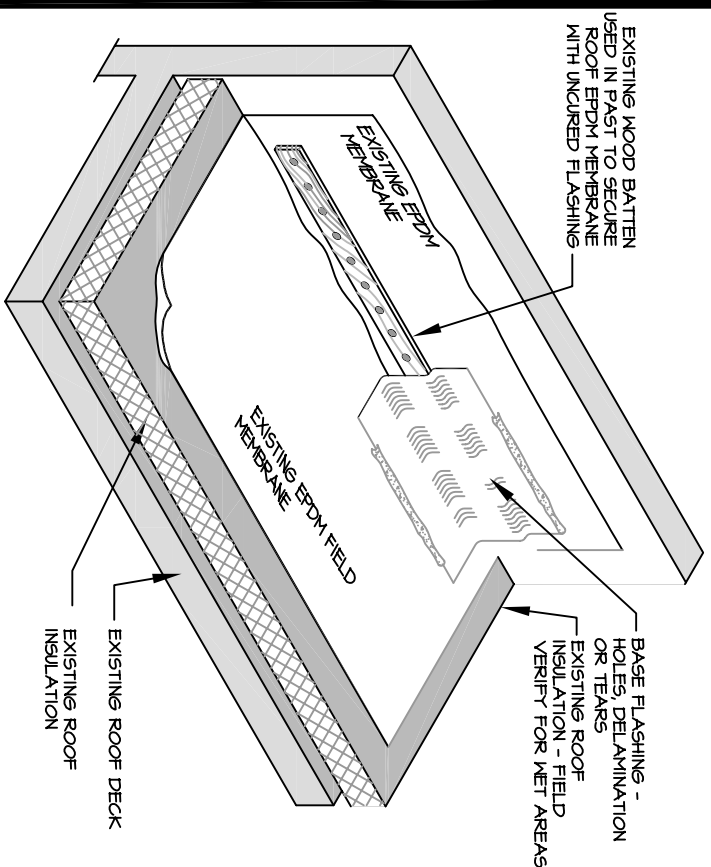
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5.2.1	5.2.3
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LEGEND | 3.1

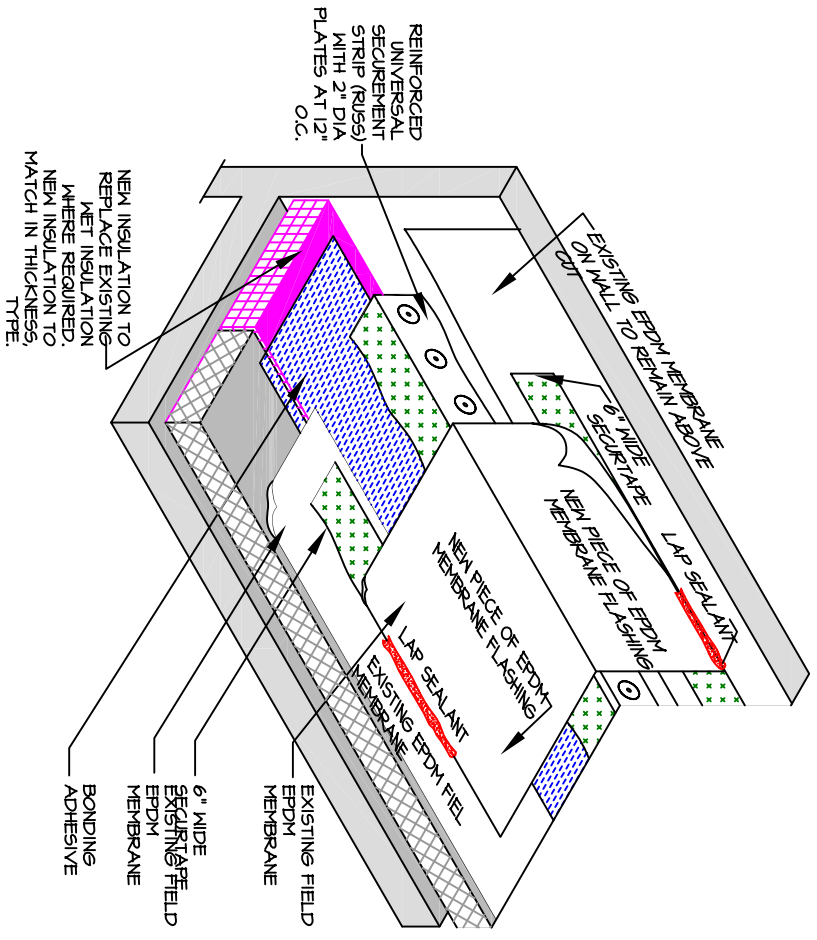
EPDM ROOF RESTORATION
DETAIL
E 5.2.2

**EXISTING
CONDITION**



A EXISTING VERTICAL TRANSITION BASE FLASHING BEFORE REPAIR
(FULL WALL TO ALL ROOF AREA REPLACEMENT)

**REPAIR
DETAIL**



B EXISTING VERTICAL TRANSITION BASE FLASHING REPAIR DETAIL
(FULL WALL TO ALL ROOF AREA REPLACEMENT)



3-D VIEW OF DETAIL 5.2.1 'C'

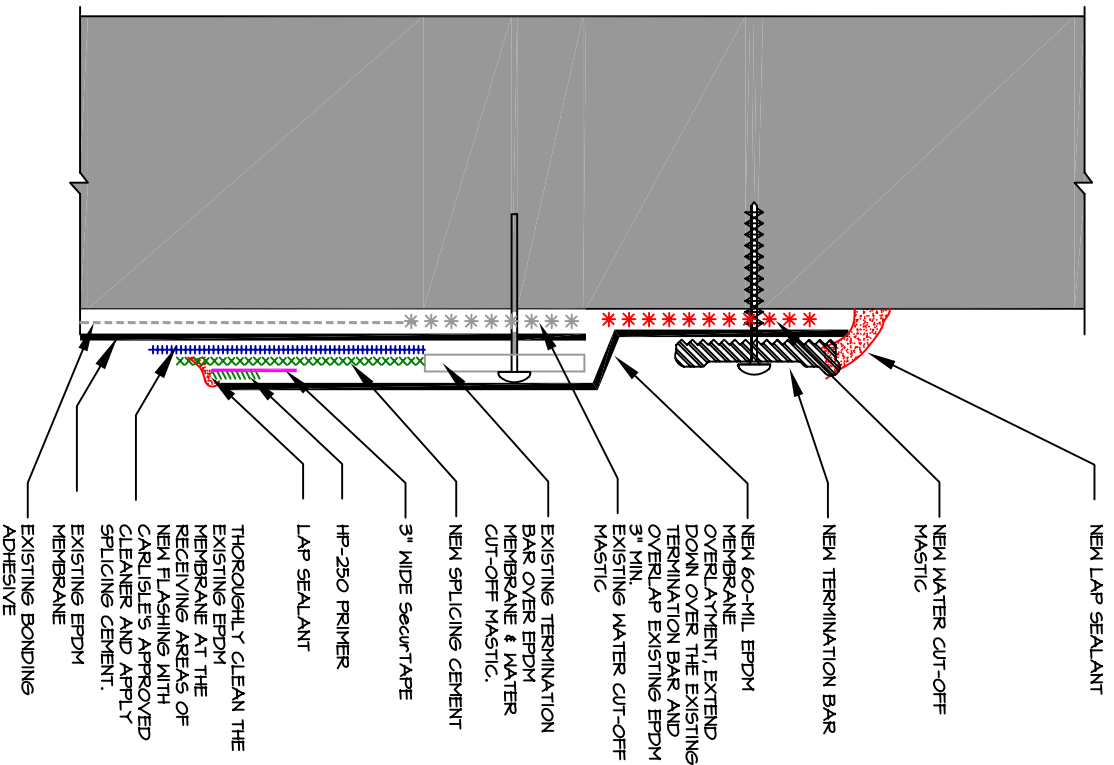
FOR APPLICABLE ADDITIONAL INFORMATION, SEE PAGES OR DETAILS(S):

5.2.1	5.2.2
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LEGEND | 3.1

EPDM ROOF RESTORATION
DETAIL

E 5.2.3



NEW LAP SEALANT

NEW WATER CUT-OFF MASTIC

NEW TERMINATION BAR

NEW 60-MIL EPDM MEMBRANE OVERLAPMENT, EXTEND DOWN OVER THE EXISTING TERMINATION BAR AND OVERLAP EXISTING EPDM 3" MIN.

EXISTING WATER CUT-OFF MASTIC

EXISTING TERMINATION BAR OVER EPDM MEMBRANE & WATER CUT-OFF MASTIC.

NEW SPlicing CEMENT

3" WIDE SecurTAPE

HP-250 PRIMER

LAP SEALANT

THOROUGHLY CLEAN THE EXISTING EPDM MEMBRANE AT THE RECEIVING AREAS OF NEW FLASHING WITH CARLISLE'S APPROVED CLEANER AND APPLY SPlicing CEMENT.

EXISTING EPDM MEMBRANE

EXISTING BONDING ADHESIVE

NOTES:

1. PRIOR TO ANY WORK, COORDINATE WITH THE OWNER TO DISCOVER ANY LEAKS OR HISTORY OF LEAKS AT AREAS BELOW. IF LEAK(S) EXISTS, DO NOT INSTALL THIS FLASHING AND CONDUCT A THOROUGH INSPECTION TO VERIFY THE CAUSES OF LEAKS. INSTALLATION OF THIS DETAIL MAY WORSEN THE LEAK CONDITION IF EXISTING CONDITIONS ARE NOT COMPLETELY ANALYZED.
2. IF NO LEAKS EXIST, THEN INSPECT THE EXISTING CONDITIONS OF THE FLASHING AND LOOK FOR THE FOLLOWING ITEMS:
 - a. IDENTIFY THE TYPE OF SUBSTRATE WALL AND ITS CONSTRUCTION COMPOSITION.
 - b. UNDERSTAND THE EXISTING INSTALLATION DETAIL & ITS DRAINAGE SYSTEM¹.
 - c. ENSURE THERE ARE NO WEEP HOLES ABOVE THE TOP OF TERMINATION BAR AREA THAT SHOULD NOT BE COVERED WITH NEW FLASHING (PARTICULARLY WHERE STEEP SLOPED ROOF EXIST AND MASONRY THROUGH WALL FLASHING IS BUILT IN STEPS), AVOID COVERING WEEPS IN THIS CONDITION ALSO.
 - d. IF THERE ARE HAIRLINE CRACKS, OPEN JOINTS OF WALL SYSTEMS, OPEN HEAD JOINTS IN MASONRY, OR SIMILAR CONDITIONS THAT MAY HELP THE MIGRATION OF WATER, COORDINATE WITH THE CONSULTANT TO RESOLVE THESE ISSUES PRIOR TO INSTALLATION OF REMEDIAL REPAIRS.
 - e. VERTICALLY STAGGER NEW NAILING PATTERN WITH EXISTING TO AVOID DEVELOPMENT OF CRACKS IN THE SUBSTRATE (DUE TO ADDITIONAL SECUREMENT IN THE SAME AREA).
 - f. VERIFY IF THERE ARE LOOSE NAILS/SCREWS WHICH ARE PROTRUDING AND RESET THEM PRIOR TO NEW FLASHING INSTALLATION.
3. AT THE JUNCTION OF PARAPET & RISING WALLS, COORDINATE WITH CONSULTANT TO RESOLVE THE UNSIGHTLY APPEARANCE OF NEW FLASHING ABOVE PARAPET WALL.
4. AT EXPANSION JOINTS, SEALANT TO BE REPAIRED/REPLACED BY OTHERS.
5. ENSURE SUBSTRATE IS DRY, SMOOTH & STRUCTURALLY SOUND. WHERE COMMON GRADE BRICKS ARE SPALLING OR DETERIORATED TO UNACCEPTABLE LEVEL, THERE REPLACE COMMON GRADE BRICKS WITH NEW SM-GRADE (SEVERE WEATHER GRADE) BRICKS. THE MASONRY MUST BE REPLACED BY OTHERS TO ACHIEVE A SOUND SUBSTRATE.

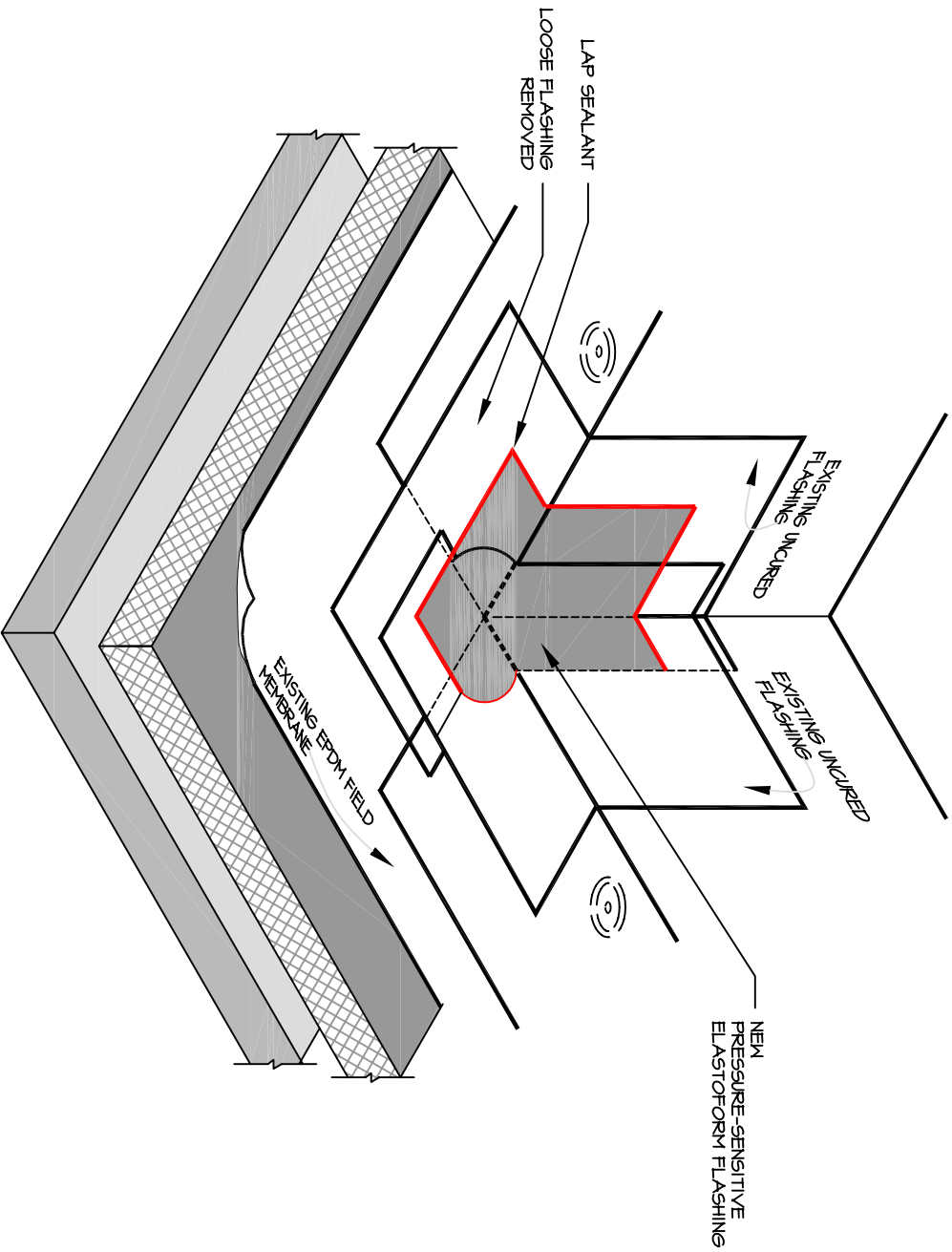
RESTORATION OF FLASHING AT TERMINATION BAR.



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5.1	5.2
LEGEND 3.1	

EPDM ROOF RESTORATION
DETAIL
E
5.3



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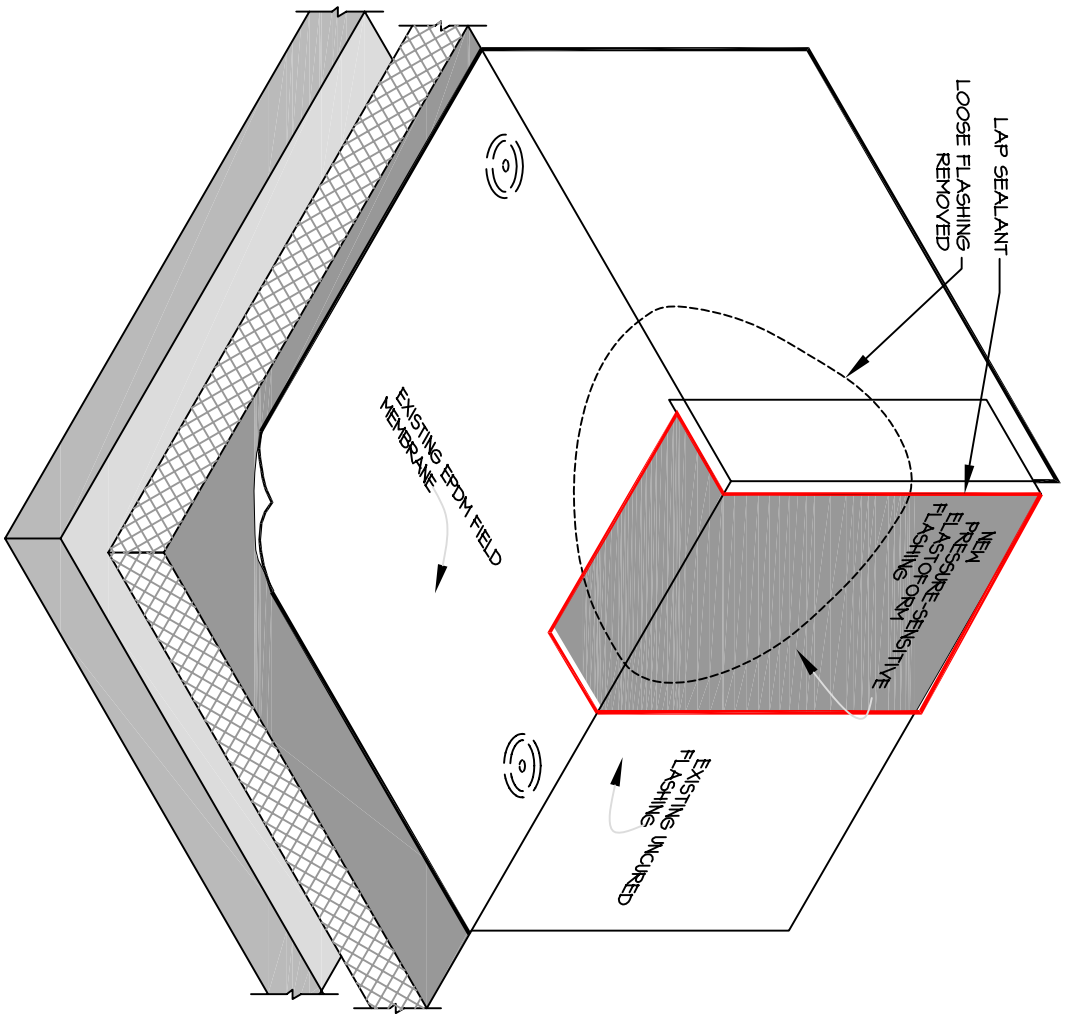
OUTSIDE CORNER FLASHING
RESTORATION DETAIL

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ADDITIONAL
INFORMATION, SEE
PAGES OR
DETAIL(S):
6.2

LEGEND | 3.1

EPDM ROOF RESTORATION
DETAIL

E
6.1



INSIDE CORNER FLASHING
RESTORATION DETAIL



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6.1

LEGEND | 3.1

EPDM ROOF RESTORATION
DETAIL

E

6.2